



# Sewanee Village + Implementation Plan



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## ACKNOWLEDGMENTS

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**Client:** University of the South

### **Contributions by:**

The Community of Sewanee

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### **Contributing Organizations:**

Action Plan Steering Committee

University of the South Students

Sewanee Community Council

Sewanee Business Alliance

Sewanee Civic Association

Representatives from Summer Programs

Senior Center and Community Center

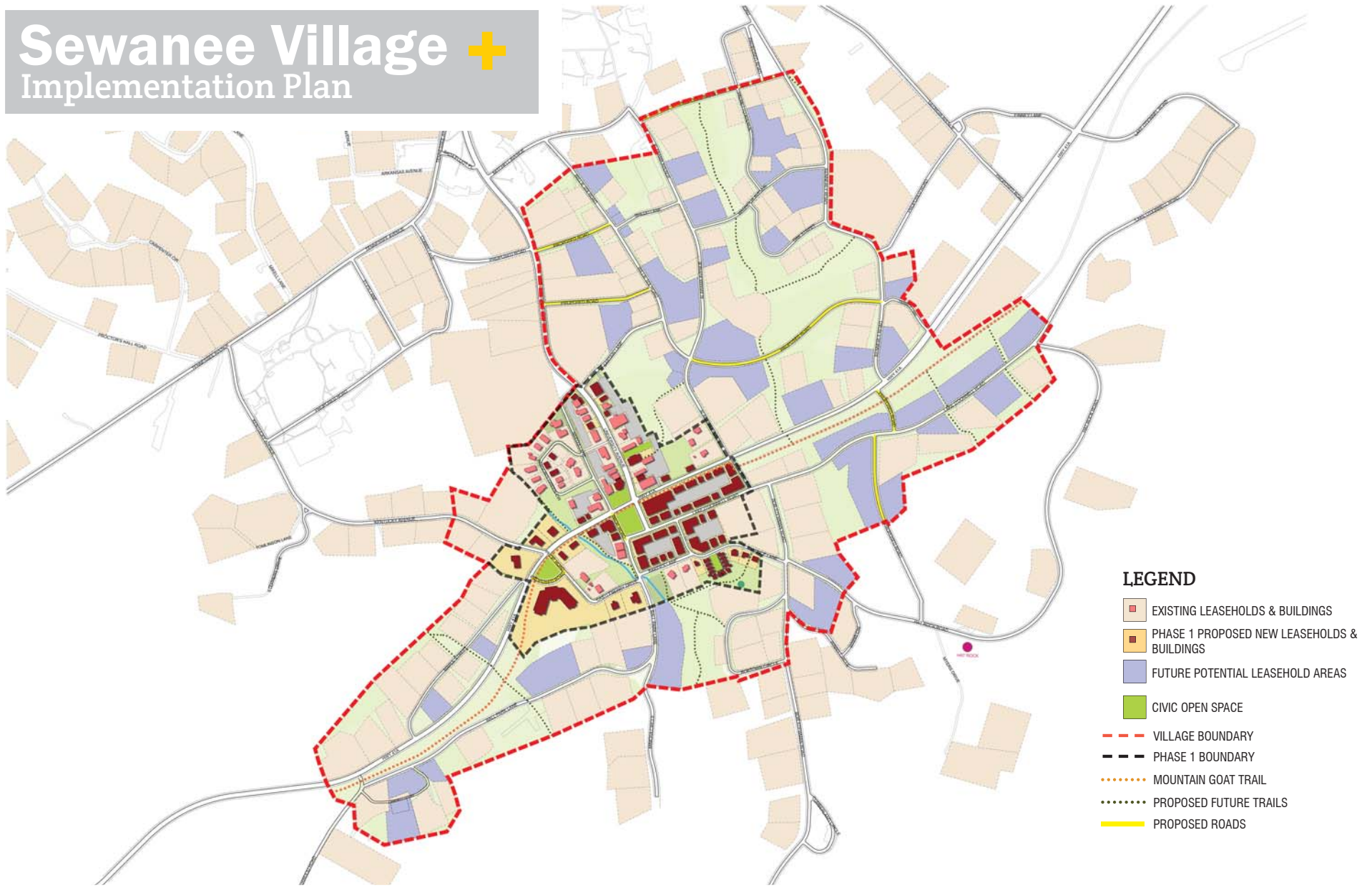
Business House Students

Downtown Residents

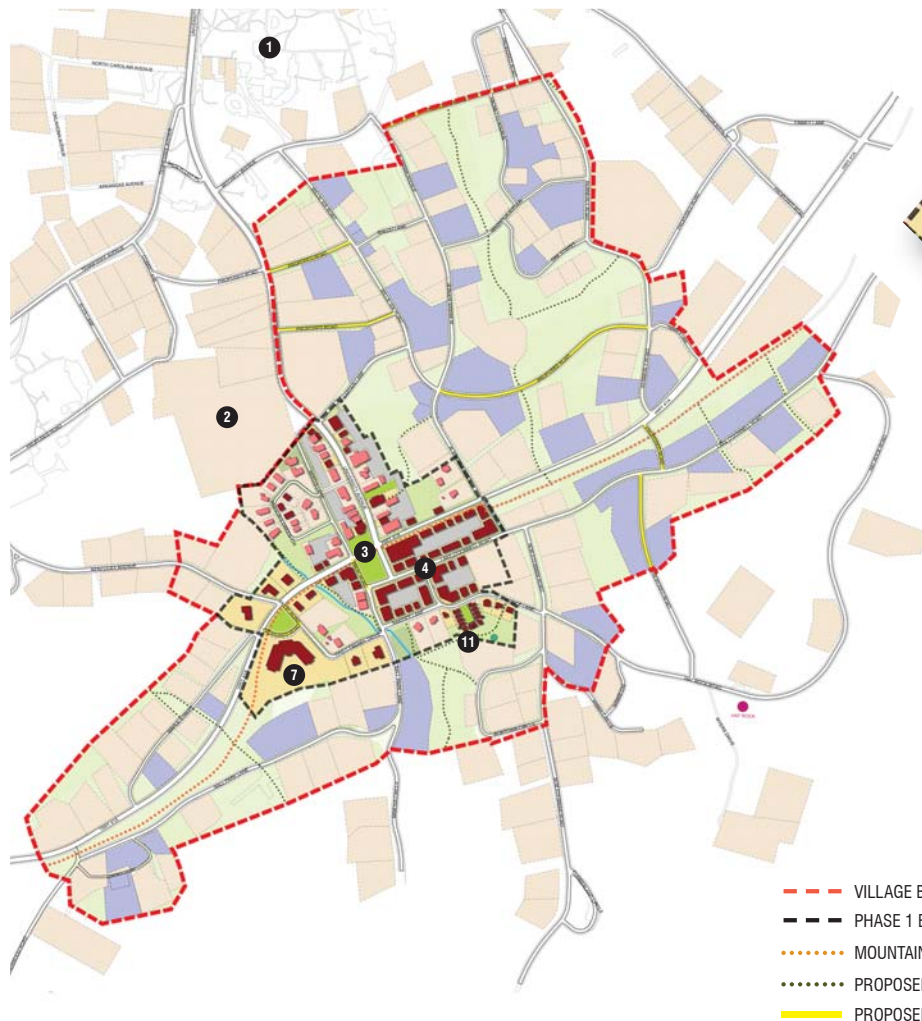
University of the South Alumni



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## LEGEND

- 1 EXISTING UNIVERSITY CORE
- 2 EXISTING ELEMENTARY SCHOOL
- 3 VILLAGE CORE
- 4 FUTURE MIXED USE BLOCKS
- 5 POSSIBLE MOVIE THEATER
- 6 POSSIBLE MIXED-USE MARKET CENTER
- 7 POSSIBLE RETIREMENT HOUSING
- 8 POSSIBLE BOOK STORE
- 9 VILLAGE GREEN
- 10 CIVIC PLAZA
- 11 PROPOSED COTTAGE COURT
- 12 EXISTING GIANT TULIP POPLAR TREE
- 13 NEW RESIDENTIAL LEASEHOLDS

- EXISTING LEASEHOLDS & BUILDINGS
- PHASE 1 PROPOSED NEW LEASEHOLDS & BUILDINGS
- FUTURE POTENTIAL LEASEHOLD AREAS
- CIVIC OPEN SPACE

## DESIGN NARRATIVE

The Sewanee Village Implementation Plan builds on the existing Sewanee Vision Plan and the Sewanee Action Plan and provides specific planning interventions and strategies to guide redevelopment of the Village and the greater Domain. The goal of this Plan is to enhance connections between the University of the South and the Sewanee Village, and to ensure the long-term viability of the Village by creating a mixed-use environment that integrates new businesses, civic spaces, and housing into the existing Village fabric. A strong network of pedestrian paths, trails, and bicycle lanes will also work to connect all residents of Sewanee. Implementation of this vision will likely require a reallocation and creation of new leaseholds over time.

The Sewanee Village Implementation Plan has four main components:

## RECREATION AND OPEN SPACE

The Plan incorporates an extensive network of parks, paths, trails, and open space. Safe, attractive, interconnected routes will give Sewanee residents and visitors alike the chance to explore with ease. One essential feature is the enhancement of facilities at crucial junctions of Mountain Goat Trail. As a leader in eco-tourism and outdoor recreation, Sewanee must strive to provide information, bathroom facilities, and rest spots for all bikers, hikers, and nature-lovers. In celebrating the unique character of this area, a central civic space is located at the Highway 41A-University Avenue intersection and includes a hardscape plaza and green common.

## VILLAGE CHARACTER

The Plan recognizes the colorful, eclectic character of the Sewanee Village and how it differs from the University campus. A Pattern Book of architectural guidelines will be established that preserve the unique character of the Village and ensures new buildings are harmonious with the existing urban fabric.

## HOUSING

The Implementation Plan anticipates a range of residential building types from cottage courts and affordable single-family units to multi-family buildings. There may be an opportunity to support infill housing near the Sewanee Village, especially in Mixed-Use centers. The Plan also incorporates a collection of new leaseholds, increasing the opportunity for affordable housing creation throughout the Village. In keeping with the unique character of Sewanee, the Plan aspires to encourage creative and modern residential situations, including multi-generational housing and cottage court communities.

## STREETS AND CONNECTIVITY

The Implementation Plan anticipates a harmonious integration of various modes of transportation including pedestrian, bicycle, vehicular, and transit connections in the form of a shuttle bus. All thoroughfares are designed to be pedestrian-friendly and incorporate multi-modal design features including generous sidewalks and bike lanes where possible. The Plan strives to "civilize" Highway 41A by narrowing the driving lanes, enhancing parking and pedestrian lanes, adding a traffic signal, and rebranding it as Main Street. When this is done, there may be opportunities to integrate new buildings and civic spaces to enhance the sense of community and the character of the Village.



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### VIEW NORTHWARD TOWARD CAMPUS ON UNIVERSITY AVENUE

As the main connection between the Sewanee Village and the University of the South campus, University Avenue must be pedestrian, bicycle, and transit friendly. Extending the bike lanes, widening the sidewalks, and adding street trees makes travel between the Village Core and the Campus Core safe and inviting. This rendering also demonstrates the possibility of the Sewanee Community Center in front of the Legion Hall and overlooking Angel Park. It also shows the possibility of infill between Taylor's Mercantile and Julia's restaurant. Moving parking to the back of buildings creates opportunities for new businesses and also makes for a more walkable and attractive streetscape.



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### VIEW WESTWARD DOWN MAIN STREET (HIGHWAY 41A)

Highway 41A reimagined as Main Street connotes a comfortable, friendly, and safe neighborhood atmosphere. Narrowed driving lanes, reduced speed limits, and on-street parking all serve as traffic calming measures. Protected bicycle lanes, widened sidewalks, street trees, and civic spaces all work together to attract and comfort pedestrians and cyclists of all ages and abilities. The newly activated streetscape will invite visitors and residents of Sewanee to explore and patron the surrounding businesses, stimulating the economy and the culture of the Sewanee Village.



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### EXAMPLE COTTAGE COURT RENDERING

A unique and modern example of new housing types, this cottage court offers a close-knit and affordable alternative to many existing housing options in Sewanee. Small to medium cottages surrounding a communal outdoor space and interconnected with pedestrian trails, communities such as this are appealing to students, "in-betweeners," new faculty with small families, and older residents. Communities such as this could be incorporated into existing neighborhoods as infill or small enclaves in previously undeveloped areas.



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### VIEW EASTWARD OVER THE VILLAGE GREEN

A large Village Green at the center of the Sewanee Village provides gathering space for Sewanee visitors and residents alike. Across the street, a plaza provides additional civic space for a variety of activities. The juxtaposition of greenspace and hardscapes creates opportunities for active and passive recreation. This rendering demonstrates how complementary new businesses could fit in with existing restaurants, shops, and facilities already living in the Village. Together, these businesses serve to entertain, fuel, and invite people of all ages and interests to the Sewanee Village. This rendering includes a movie theater, a new location for the student book store, and a new Mixed-Use market building.